



RICHMONDS

Rosoman Road, Sholing, Southampton, SO19 2PJ

OIEO £315,000

EXTENSION POTENTIAL A recently refurbished, three-bedroom family home with garage and fantastic extension potential, subject to the usual terms and conditions.

To the ground floor, there is a spacious hallway with storage cupboards and a large lounge/diner with access to a conservatory overlooking the rear garden. The recently refitted kitchen offers a range of eye and base level units, ample preparation area and space for appliances.

The first floor boasts three bedrooms and the family bathroom comprising of a white suite with low level w/c, wash hand basin and bath with shower over.

Externally, there is a front lawned area with pathway leading to the front door and off-street parking. A side walkway leads through to the generously sized rear garden which is panel fence enclosed and mainly laid to lawn. There is a detached garage to the side of the property.

Other Information

Tenure: Leasehold

Length of Lease: Original term of 999 years

Heating: Gas central heating

Windows: UPVC double glazing

Loft: Not inspected

Energy Rating: C

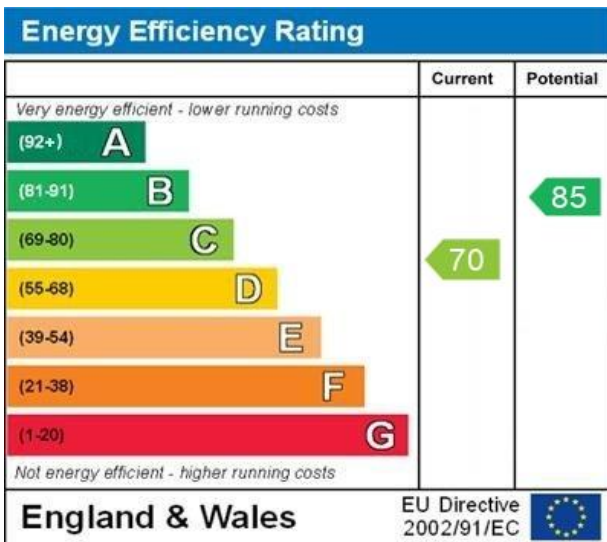
Sellers Position: No onward chain

Local Information:

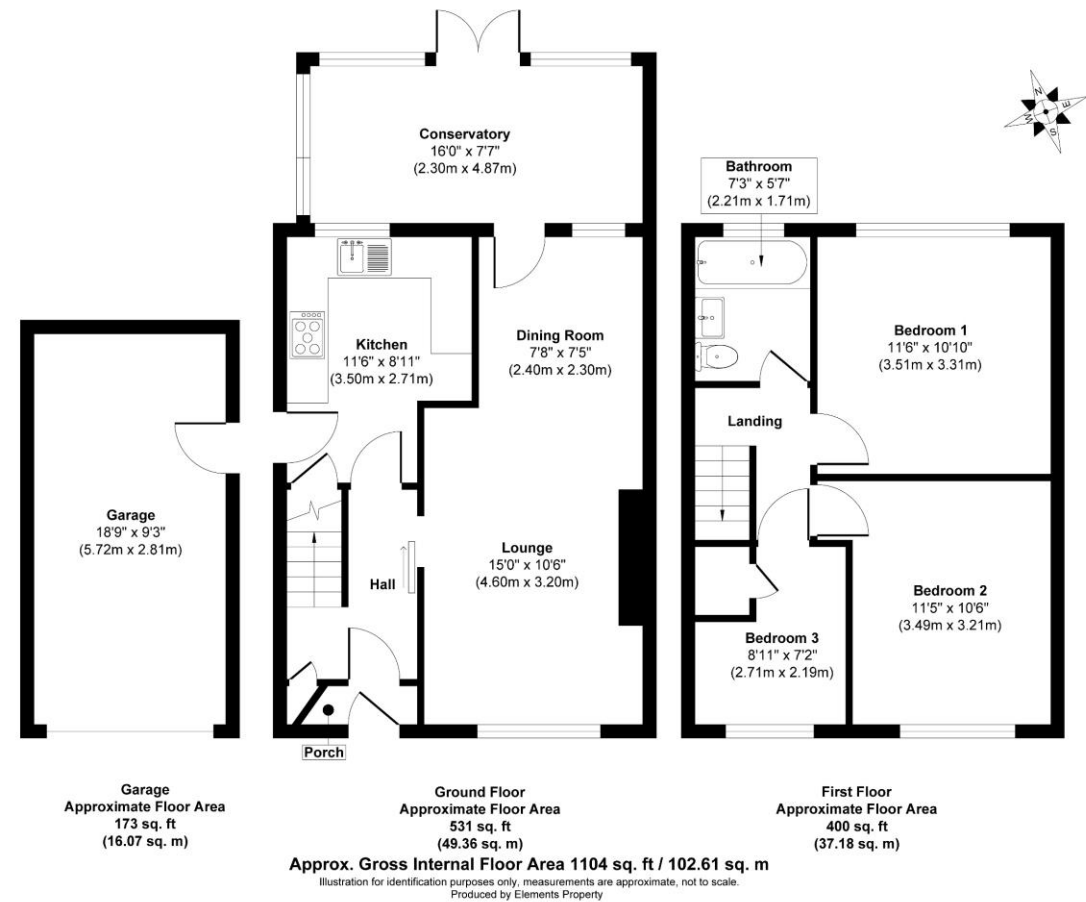
Council Tax: C

Local Authority: Southampton City Council





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Agents Note: The sellers of the property have provided the above information to us and we are therefore reliant on them providing the correct information. The floor plan and sizes are to be used as a guide only. Please check room sizes prior to ordering carpets or furniture. If you require confirmation on any particular point for specific purposes please contact our office for further information. If you have other questions about this property, please telephone **01489 789933**

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